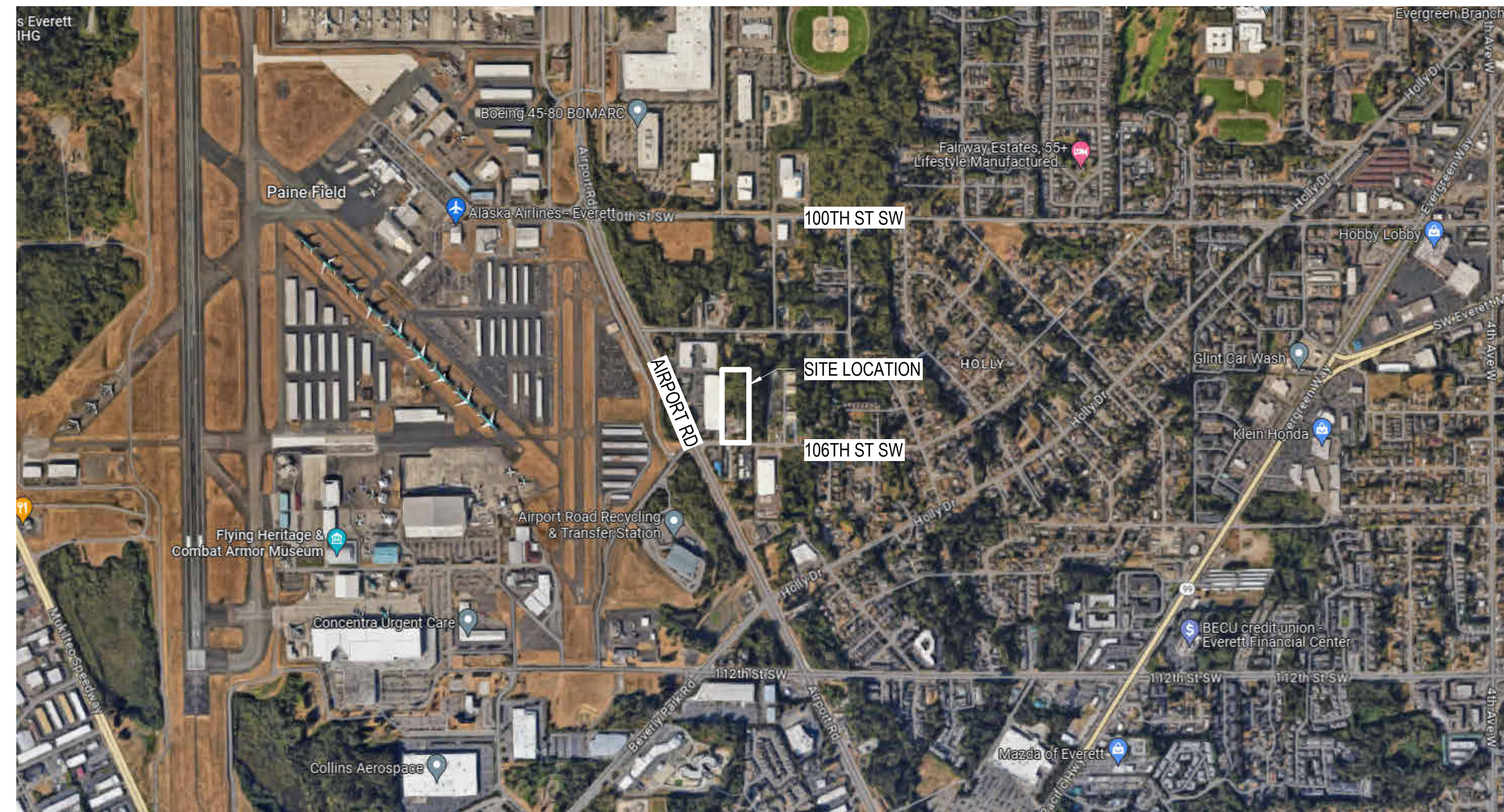


MI CHILD CARE CENTER

GC RFP SET 04/09/2024

URBAL
ARCHITECTURE
URBAN|RURAL

1938 Fairview Avenue East suite 202
Seattle, WA 98102
info@urbalarchitecture.com
www.urbalarchitecture.com
T 206-257-0972



VICINITY MAP - NOT TO SCALE



PROJECT RENDERING - FOR ILLUSTRATIVE PURPOSES ONLY

ADDRESS

2407 106TH ST SW,
EVERETT, WA 98204

ASSESSOR'S PARCEL NUMBER

00535400001101,
28042300201500

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:

THE EAST 1/5 OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 28 NORTH, RANGE 4 EAST, W.M., RECORDS OF SNOHOMISH COUNTY, WASHINGTON; EXCEPT THE SOUTH 20 FEET THEREOF CONVEYED TO SNOHOMISH COUNTY FOR ROAD BY DEED RECORDED UNDER SNOHOMISH COUNTY RECORDING NO. 453318.

PARCEL B:

THE WEST HALF OF LOT 11, OLIVIA PARK DIVISION NO. 3, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 11 OF PLATS, PAGE 17, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

280423-002-015-00 AND 005354-000-011-01

2407 106TH STREET SW
EVERETT, WASHINGTON 98204

PROJECT DIRECTORY

OWNER
MACHINISTS INSTITUTE
9125 15TH PLACE S, SEATTLE, WA 98108
SHANA PESCHEK
425-306-1846
Shana.Peschek@machinistsinstitute.org

MEP
[NAME]
[ADDRESS]
PHONE:
CONTACT:
E-MAIL:

ARCHITECT
URBAL ARCHITECTURE
1938 FAIRVIEW AVE E STE 100, SEATTLE
WA 98102
PHONE: 206-676-5649
CONTACT: ALEX DALZELL
E-MAIL: alexd@urbalarchitecture.com

BUILDING ENVELOPE
[NAME]
[ADDRESS]
PHONE:
CONTACT:
E-MAIL:

LANDSCAPE ARCHITECT
[NAME]
[ADDRESS]
PHONE:
CONTACT:
E-MAIL:

INTERIOR DESIGN
[NAME]
[ADDRESS]
PHONE:
CONTACT:
E-MAIL:

STRUCTURAL ENGINEER
[NAME]
[ADDRESS]
PHONE:
CONTACT:
E-MAIL:

FOOD SERVICE DESIGN
[NAME]
[ADDRESS]
PHONE:
CONTACT:
E-MAIL:

CIVIL ENGINEER
[NAME]
[ADDRESS]
PHONE:
CONTACT:
E-MAIL:

ACOUSTICS
[NAME]
[ADDRESS]
PHONE:
CONTACT:
E-MAIL:

PROJECT DESCRIPTION & DATA

LICENSED CHILD CARE FACILITY COMPOSED OF CLASSROOMS AND STAFF AREAS FOR CHILDREN AGED 0 THROUGH 12. RENOVATION AND APPROX. 600 SF ADDITION TO AN EXISTING TYPE VB ONE STORY STRUCTURE. THERE WILL BE MINOR DEMOLITION OF THE EXISTING WALLS WHICH WILL BE PERMITTED SEPARATELY.

OCCUPANCY: I-4

CONSTRUCTION TYPE: VB

TOTAL OCCUPANT LOAD: TBD

GROSS FLOOR AREA: 11,734 GSF

0.00 - DRAWING INDEX

0 - ARCH DATA	
A0.00	TITLE SHEET
A0.10	PROJECT DATA, ZONING & CONDITIONS OF APPROVAL
1 - SURVEY	
1	SURVEY
2	SURVEY
4 - ARCHITECTURAL	
A1.00	SITE PLAN
A1.01	FLOOR PLAN - LEVEL 1
A1.02	FLOOR PLAN - NATURE PRESCHOOL
A1.06	EXISTING PLANS
A3.01	BUILDING ELEVATIONS
A4.01	BUILDING SECTIONS
A4.02	BUILDING SECTIONS
A9.01	WALL/ FLOOR/ ROOF TYPES

license

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project name

MI CHILD CARE
CENTER

2407 106TH ST SW
EVERETT, WA 98204

key plan

submittals/revisions

50% SD SET	12.21.2023
PREAPP SUBMITTAL	02.09.2024

drawing title

TITLE SHEET

drawing information

DATE	02.09.24
SCALE	12" = 1'-0"
DRAWN	XXXX
JOB #	23-084

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sheet number

A0.00

SYMBOLS LEGEND

VIEW REFERENCES	OBJECT REFERENCES
<p>BUILDING SECTION</p>	<p>ROOM TAG</p>
<p>DETAIL CUT</p>	<p>DOOR TAG</p>
<p>ENLARGED PLAN OR DETAIL</p>	<p>WINDOW TAG</p>
<p>BUILDING ELEVATION</p>	<p>MATERIAL TAG</p>
<p>INTERIOR ELEVATION</p>	<p>WALL TAG</p>
<p>HIDDEN ELEVATION</p>	<p>ROOF/FLOOR/CEILING TAG</p>
	<p>REVISION TAG</p>

GENERAL NOTES

- THE DRAWINGS ARE INTENDED TO DESCRIBE THE OVERALL SCOPE OF WORK. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL WORK COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS OF THE JURISDICTIONS HAVING AUTHORITY. NOTHING IN THE DRAWINGS SHALL BE CONSTRUED TO PERMIT AN INSTALLATION IN VIOLATION OF APPLICABLE CODES AND/OR RESTRICTIONS. SHOULD ANY CHANGE IN THE DRAWINGS BE NECESSARY IN ORDER TO COMPLY WITH THE APPLICABLE CODES AND/OR REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE AT ONCE AND CEASE WORK ON ALL PARTS OF THE CONTRACT WHICH ARE AFFECTED. THE WORK TO BE PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES, REGULATIONS, RESTRICTIONS, REQUIREMENTS AND CODES. WORK PERFORMED IN VIOLATION OF SUCH SHALL BE CORRECTED AT NO EXPENSE TO THE OWNER.
- PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF DISCREPANCIES NOTED AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS, CODES OR REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION AND SITE CONDITIONS, INCLUDING TAKING FIELD MEASUREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING UTILITIES. EXISTING UTILITIES SHOWN HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL UTILITY LOCATIONS NOT SHOWN.
- DIMENSIONS OF SITE CONDITIONS ARE FROM SURVEY BY OTHERS. ARCHITECT BEARS NO RESPONSIBILITY FOR ACCURACY OF THE SAME. DIMENSIONS ARE TO FACE OF EXTERIOR FRAMING, FACE OF CONCRETE, OR CENTER OF INTERIOR WALL STUD, UNLESS OTHERWISE NOTED. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOUND. DO NOT SCALE DRAWINGS.
- ALL DOORS LOCATED ADJACENT TO A PERPENDICULAR PARTITION AND NOT LOCATED BY DIMENSION ON PLANS, INTERIOR ELEVATIONS, OR DETAILS SHALL BE 5" FROM FACE OF STUD TO EDGE OF DOOR OPENINGS.
- FRAMED WALLS SHALL BE DIMENSIONED AS FOLLOWS (UNLESS NOTED OTHERWISE):
 - EXTERIOR WALLS: OUTSIDE FACE OF FRAME
 - CORRIDOR WALLS: CORRIDOR-SIDE FACE OF FRAME
 - INTERIOR PARTITION WALLS: CENTER OF FRAME
- REPETITIVE ELEMENTS: TYPICAL WALL SECTIONS, FINISHES AND DETAILS ARE NOT INDICATED EVERYWHERE THEY OCCUR ON PLANS, ELEVATIONS AND SECTIONS. REFER TO DETAILED DRAWINGS, CONTRACTOR TO PROVIDE AS IF DRAWN IN FULL EVERYWHERE.
- THE CONTRACTOR SHALL CONSULT THE PLANS OF ALL TRADES FOR OPENINGS THROUGH SLABS, WALLS, CEILINGS AND ROOFS FOR DUCTS, PIPES, CONDUIT, CABINETS AND EQUIPMENT, AND SHALL VERIFY THE SIZES AND LOCATIONS WITH SUBCONTRACTORS.
- ABBREVIATIONS: THROUGHOUT THE PLANS ARE ABBREVIATIONS WHICH ARE IN COMMON USE. THE ARCHITECT WILL DEFINE THE INTENT OF ANY ABBREVIATION IN QUESTION. SEE SHEET A0.01 FOR GENERAL ABBREVIATIONS, ABBREVIATIONS OR PARTIAL CODE SECTIONS NOTED ON THIS PLAN AND PLAN REVIEW LIST ARE INTENDED TO INDICATE THE NATURE OF THE PLANS OR GIVE ADDITIONAL INFORMATION. THE FULL TEXT OF THE CODE ALWAYS APPLIES.
- REFER TO STRUCTURAL GENERAL NOTES ON SHEETS **S0.01-S0.02** FOR SPECIAL INSPECTIONS AND STRUCTURAL OBSERVATIONS REQUIREMENTS.
- REFER TO ACOUSTICAL REPORT DATED **XX-XX-XXXX** FOR ACOUSTICAL RECOMMENDATIONS, LOCATIONS AND SPECIFIC INSTALLING INSTRUCTIONS.
- VERIFY ALL ROUGH-IN DIMENSIONS (HORIZONTAL AND VERTICAL) FOR ALL EQUIPMENT PROVIDED IN THE CONTRACT DOCUMENTS. VERIFY WITH THE OWNER'S REPRESENTATIVE THE SIZE, SHAPE AND UTILITY REQUIREMENTS OF EQUIPMENT PROVIDED BY OTHERS.
- CONTRACTOR/ SUB-CONTRACTOR TO PROVIDE SOLID BACKING FOR ALL ATTACHED HARDWARE RODS, HANDRAILS AND GRAB BARS.

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project name

MI CHILD CARE CENTER

2407 106TH ST SW
EVERETT, WA 98204

key plan

submittals/revisions

50% SD SET 12.21.2023

drawing title

GENERAL NOTES AND LEGENDS

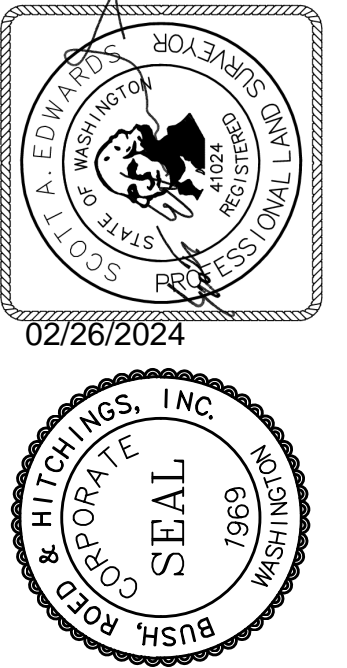
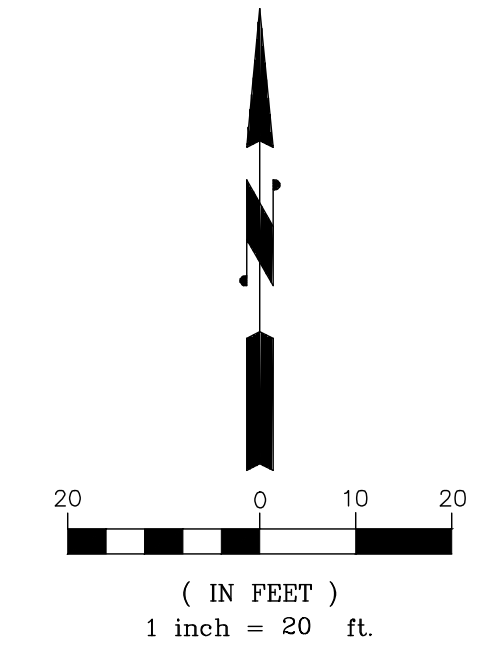
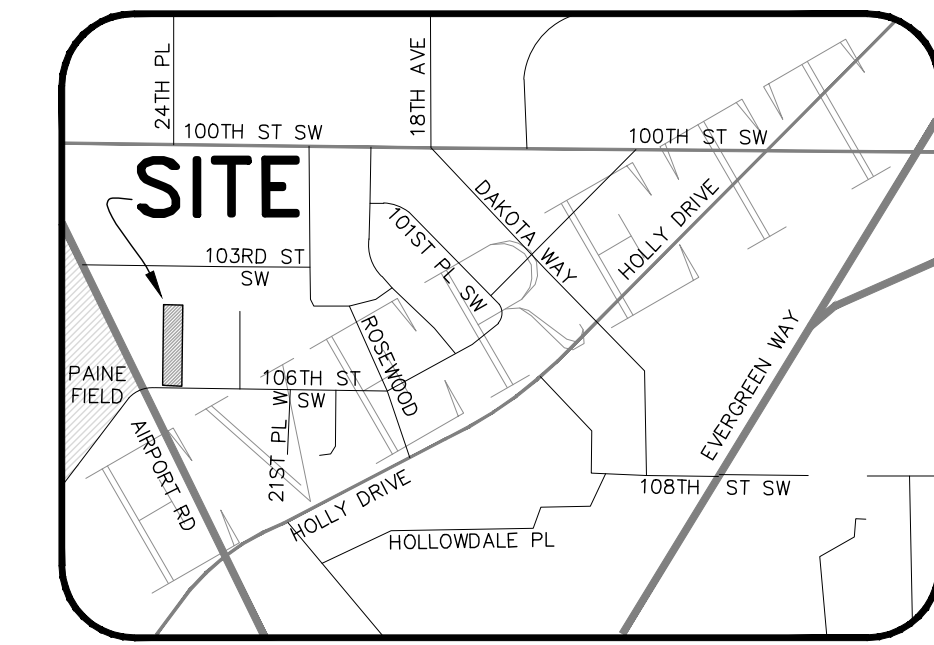
drawing information

DATE 12.21.23
SCALE As indicated
DRAWN XXXX
JOB # 23-084

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sheet number

A0.05



DELTA BUILDING NUMBER ONE,
A CONDOMINIUM
AFN 200509285318

SEE SHEET 2

SEE SHEET 2

LOT 1

LOT 11

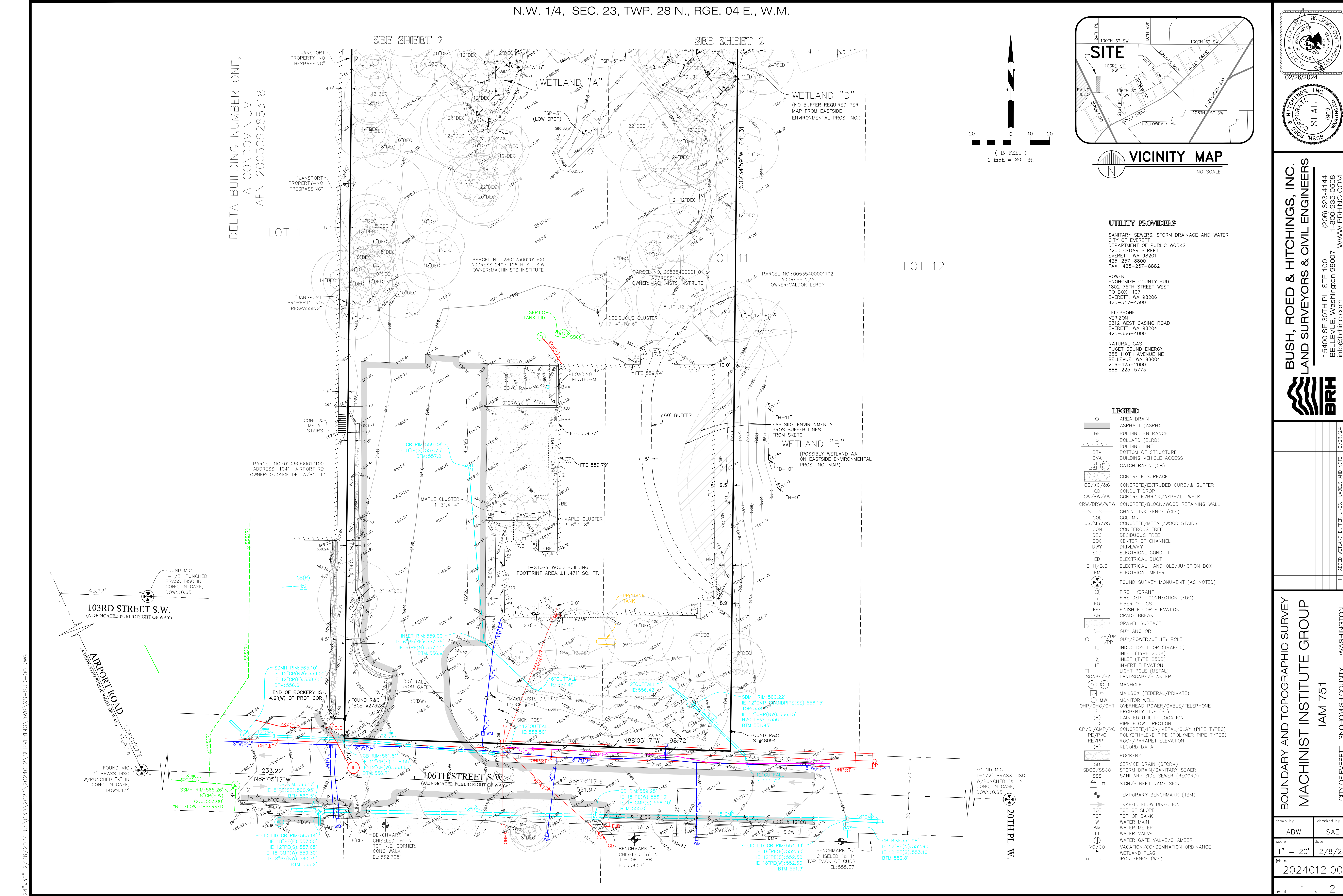
LOT 12

PARCEL NO.: 28042300010100
ADDRESS: 2407 106TH ST. S.W.
OWNER: MACHINISTS INSTITUTE

PARCEL NO.: 01036300010100
ADDRESS: 10411 AIRPORT RD
OWNER: DEJONGE DELTA/BC LLC

PARCEL NO.: 00535400001101
ADDRESS: N/A
OWNER: MACHINISTS INSTITUTE

PARCEL NO.: 00535400001102
ADDRESS: N/A
OWNER: VALDOK LEROY



UTILITY PROVIDERS:

SANITARY SEWERS, STORM DRAINAGE AND WATER
CITY OF EVERETT
DEPARTMENT OF PUBLIC WORKS
3200 CEDAR STREET
EVERETT, WA 98201
425-257-8800
FAX: 425-257-8882

POWER
SNOHOMISH COUNTY PUD
1802 75TH STREET WEST
PO BOX 1107
EVERETT, WA 98206
425-347-4300

TELEPHONE
VERIZON
2312 WEST CASINO ROAD
EVERETT, WA 98204
425-356-4009

NATURAL GAS
PUGET SOUND ENERGY
355 110TH AVENUE NE
BELLEVUE, WA 98004
206-425-2000
888-225-5773

LEGEND

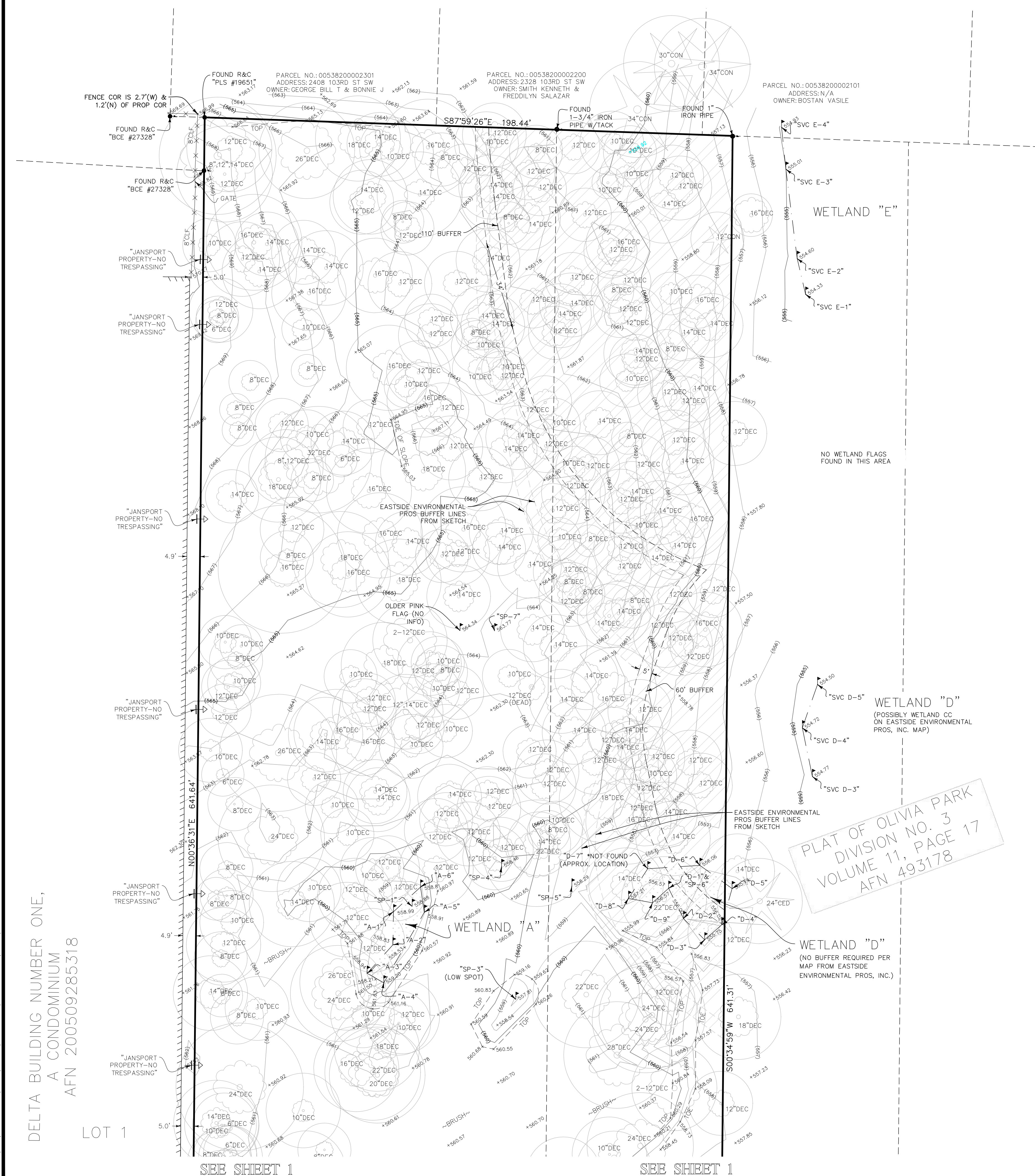
- AREA DRAIN
- ASPHALT (ASPH)
- BUILDING ENTRANCE
- BOLLARD (BLRD)
- BUILDING LINE
- BOTTOM OF STRUCTURE
- BUILDING VEHICLE ACCESS
- CATCH BASIN (CB)
- CONCRETE SURFACE
- CONCRETE/EXTRUDED CURB/& GUTTER
- CONDUIT DROP
- CONCRETE/BRICK/ASPHALT WALK
- CONCRETE/BLOCK/WOOD RETAINING WALL
- CHAIN LINK FENCE (CLF)
- COLUMN
- CONCRETE/METAL/WOOD STAIRS
- CONIFEROUS TREE
- DECIDUOUS TREE
- CENTER OF CHANNEL
- DRIVEWAY
- ELECTRICAL CONDUIT
- ELECTRICAL DUCT
- ELECTRICAL HANDHOLE/JUNCTION BOX
- ELECTRICAL METER
- FOUND SURVEY MONUMENT (AS NOTED)
- FIRE HYDRANT
- FIRE DEPT. CONNECTION (FDC)
- FIBER OPTICS
- FINISH FLOOR ELEVATION
- GRADE BREAK
- GRAVEL SURFACE
- GUY ANCHOR
- GUY/POWER/UTILITY POLE
- INDUCTION LOOP (TRAFFIC)
- INLET (TYPE 250A)
- INLET (TYPE 250B)
- INVERT ELEVATION
- LIGHT POLE (METAL)
- LANDSCAPE/PLANTER
- MANHOLE
- MAILBOX (FEDERAL/PRIVATE)
- MONITOR WELL
- OVERHEAD POWER/CABLE/TELEPHONE
- PROPERTY LINE (PL)
- PAINTED UTILITY LOCATION
- PIPE FLOW DIRECTION
- CONCRETE/IRON/METAL/CLAY (PIPE TYPES)
- POLYETHYLENE PIPE (POLYMER PIPE TYPES)
- ROOF/PARAPET ELEVATION
- RECORD DATA
- ROCKERY
- SERVICE DRAIN (STORM)
- SDCO/SSCO
- SSS
- SANITARY SIDE SENER (RECORD)
- SIGN/STREET NAME SIGN
- TEMPORARY BENCHMARK (TBM)
- TRAFFIC FLOW DIRECTION
- TOE OF SLOPE
- TOP OF BANK
- WATER MAIN
- WATER METER
- WATER VALVE
- WATER GATE VALVE/CHAMBER
- VACATION/CONDEMNATION ORDINANCE
- WETLAND FLAG
- IRON FENCE (WIF)

BUSH, ROED & HITCHINGS, INC.
LAND SURVEYORS & CIVIL ENGINEERS
15400 SE 30TH PL, STE 100
BELLEVUE, Washington 98007
info@brhinc.com
(206) 323-4144
1-800-935-0508
WWW.BRHINC.COM



BOUNDARY AND TOPOGRAPHIC SURVEY
MACHINIST INSTITUTE GROUP
IAM 751
CITY OF EVERETT SNOHOMISH COUNTY WASHINGTON

drawn by	checked by
ABW	SAE
scale	date
1" = 20'	2/8/24
job no.	
2024012.00	
sheet	1 of 2



STATEMENT OF TOPOGRAPHIC MAP ELEMENTS (WAC 332-130-145)

2(b) PURPOSE: FEASIBILITY AND DESIGN
2(c) CONTOUR SOURCE: CONTOURS DERIVED FROM DIRECT FIELD OBSERVATIONS
2(f) CONTOUR ACCURACY: COMPLIES WITH UNITED STATES NATIONAL MAP ACCURACY STANDARDS (90% OR GREATER OF ALL SURVEY POINTS CHECKED ARE CORRECT WITHIN HALF OF ONE CONTOUR INTERVAL).



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LAND SURVEYORS & CIVIL ENGINEERS
15400 SE 30TH PL, STE 100
BELLEVUE, WASHINGTON 98007
(206) 323-4144
1-800-935-0508
WWW.BRHINC.COM



SITE NOTES

SITE ADDRESS: 2407 106TH STREET SW EVERETT, WA 98204
PARCEL NOS.: 2804230020-1500 & 0053540000-1101
ZONING: LI2 (LIGHT INDUSTRIAL)
ZONING AGENCY: CITY OF EVERETT
DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
ADMINISTRATIVE OFFICES AND MAILING ADDRESS: 2930 WETMORE AVENUE, SUITE 8A EVERETT, WA 98201

WETLAND NOTE:

WETLAND FLAGS SHOWN WERE LOCATED WHERE FOUND IN JANUARY OF 2024.
SEE REPORT BY EASTSIDE ENVIRONMENTAL PROS, INC. DATED 01-27-2023, FOR FURTHER DETAILS.
THERE WERE SIGNIFICANT DIFFERENCES BETWEEN THE MAP PROVIDED IN THAT REPORT AND WHAT WAS FOUND ON THE GROUND.

TITLE REPORT SCHEDULE B EXCEPTIONS:

- 19. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF COVENANTS"
RECORDED: MAY 09, 1986
RECORDING NO.: 8605090387
MODIFICATION AND/OR AMENDMENT BY INSTRUMENT:
RECORDING INFORMATION: 8606240306
*SURVEYOR'S NOTE: BLANKET IN NATURE.
20. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF COVENANTS"
RECORDED: MAY 09, 1986
RECORDING NO.: 8605090440
*SURVEYOR'S NOTE: BLANKET IN NATURE.
21. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "RESTRICTIVE COVENANT/EQUITABLE SERVITUDE FOR MAINTENANCE OF DRAINAGE FACILITIES"
RECORDED: JUNE 24, 1986
RECORDING NO.: 8606240305
*SURVEYOR'S NOTE: BLANKET IN NATURE.

CERTIFICATION:

SURVEY IDENTIFICATION NO.: 2024012.00
REGISTERED LAND SURVEYOR NO.: 41024
SURVEYOR'S ADDRESS & COMPANY: BUSH, ROED & HITCHINGS, INC. 15400 SE 30TH PLACE, STE 100 BELLEVUE, WA 98007
TELEPHONE: (206) 323-4144
COMPANY WEBSITE: WWW.BRHINC.COM
SURVEYOR'S EMAIL: SCOTTE@BRHINC.COM
DATE OF PLAT OR MAP: 02/26/2024

Signature of Scott A. Edwards
SCOTT A. EDWARDS, P.L.S. NO. 41024

THE ABOVE CERTIFICATE IS BASED UPON WORK PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED PROFESSIONAL SURVEY PRACTICE. WE MAKE NO OTHER WARRANTY, EITHER EXPRESSED OR IMPLIED.

ACCESS NOTES: SITE HAS DIRECT VEHICULAR AND PEDESTRIAN ACCESS TO 106TH STREET SOUTHWEST.
POSSIBLE ENCROACHMENT NOTES: NONE OBSERVED.

LEGAL DESCRIPTION NOTE: THE PROPERTIES SURVEYED ARE THE SAME AS SHOWN ON THE TITLE REPORT HEREON, AND IS A MATHEMATICALLY CLOSED FIGURE WITH NO GAPS, STRIPS OR GORES.

UTILITY MARKING NOTE: THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RECORD (R) DOCUMENTS OBTAINED FROM PUBLIC AND PRIVATE UTILITY SOURCES, IF AVAILABLE. GROUND SURFACE PAINTED (P) UTILITY MARKINGS WERE TRACED ON THE GROUND AND PAINTED BY BUSH, ROED & HITCHINGS, INC. UNDERGROUND UTILITY LOCATING PERSONNEL.

PLAT OF OLIVIA PARK DIVISION NO. 3 VOLUME 11, PAGE 17 AFN 493178

DELTA BUILDING NUMBER ONE, A CONDOMINIUM AFN 200509285318

LOT 1

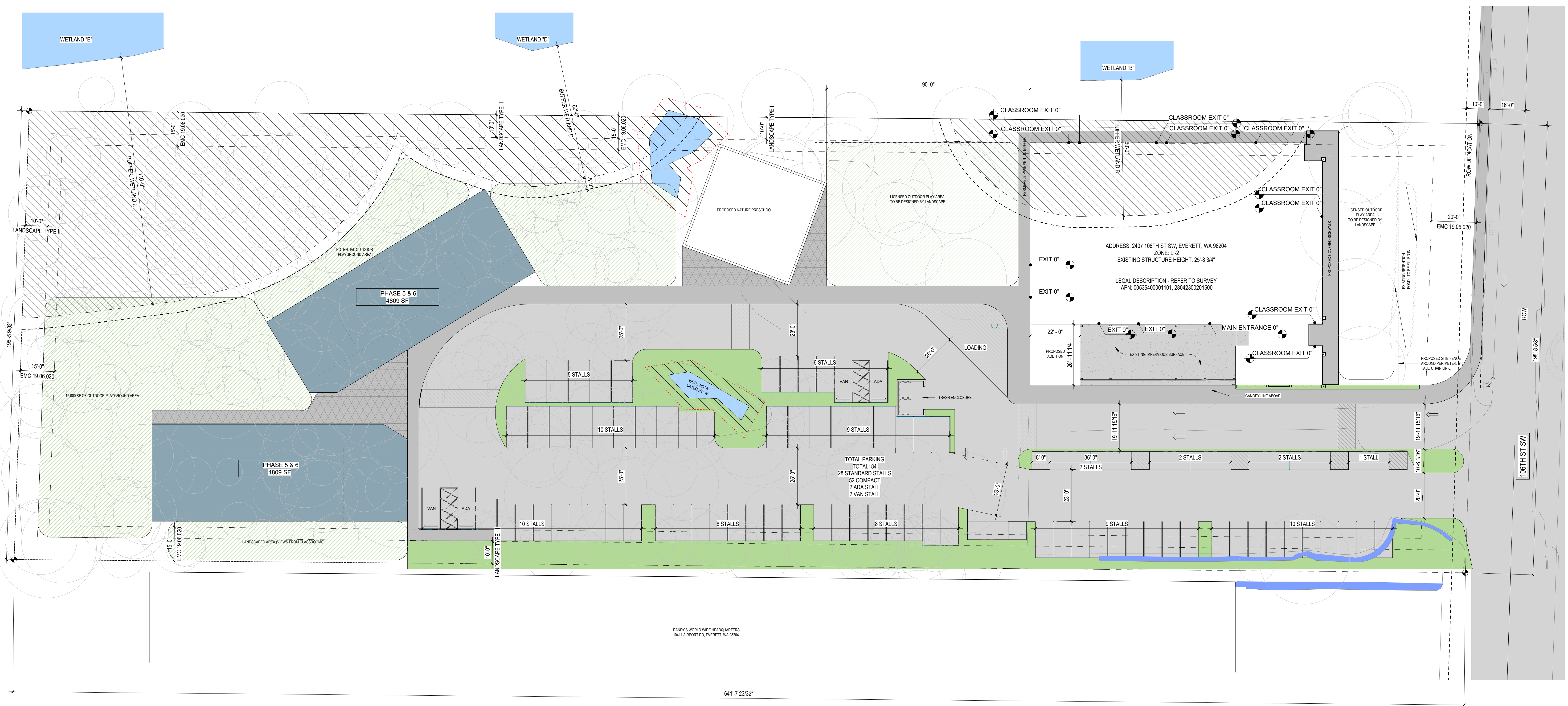
SEE SHEET 1

SEE SHEET 1

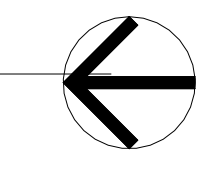
Table with columns: NO., DATE, REVISION. Row 1: 1, 2/26/24, ADDED WETLAND BUFFER LINES, LABELS AND NOTE.

BOUNDARY AND TOPOGRAPHIC SURVEY MACHINIST INSTITUTE GROUP IAM 751 CITY OF EVERETT SNOHOMISH COUNTY WASHINGTON

Table with columns: drawn by, checked by, scale, date, job no., sheet. Values: ABW, SAE, 1" = 20', 2/8/24, 2024012.00, 2 of 2.

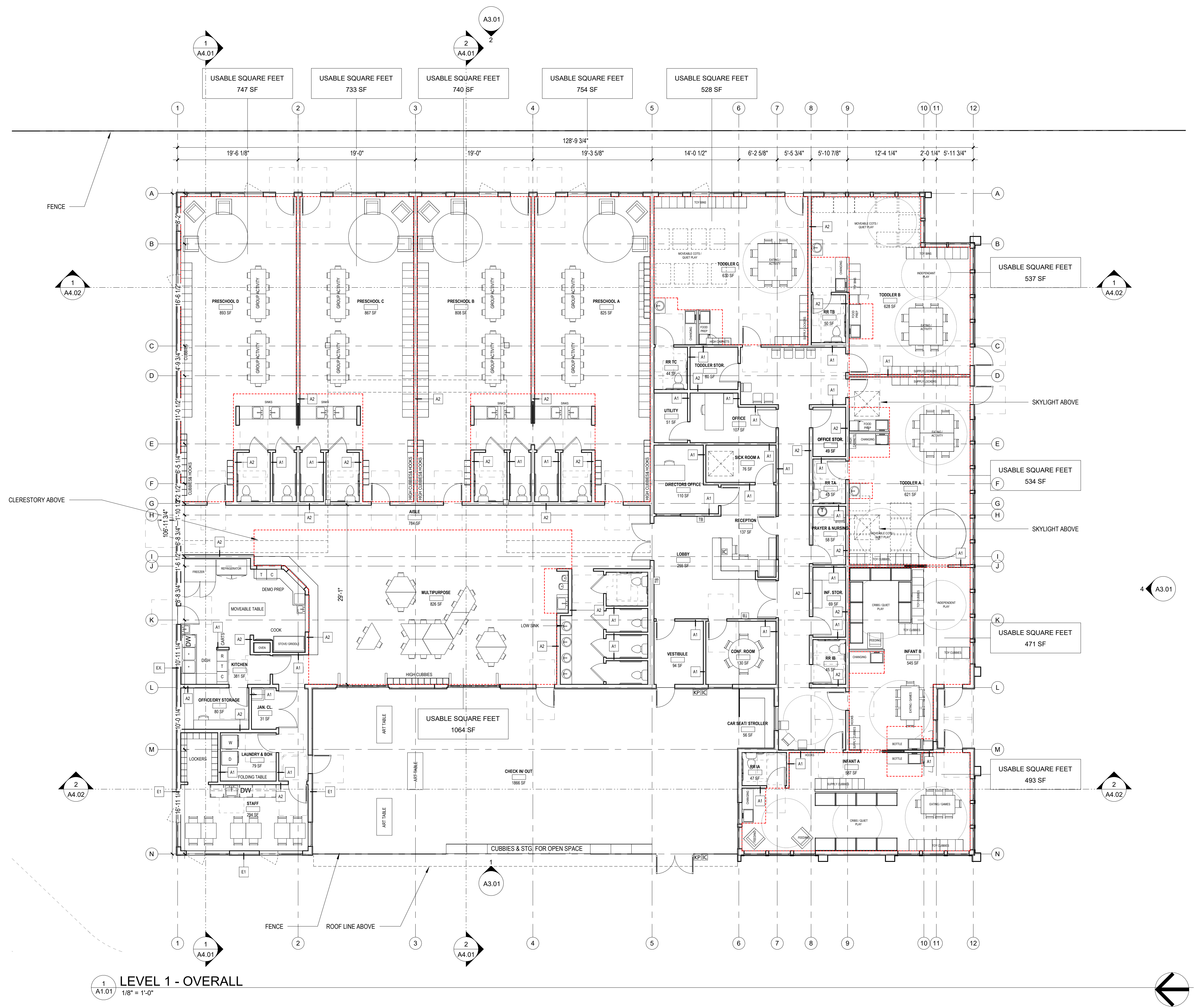


1 SITE PLAN
A1.00 1" = 20'-0"



RANDY'S WORLD WISE HEADQUARTERS
10411 AIRPORT RD, EVERETT, WA 98204

641'-7 23/32"



1
A1.01
LEVEL 1 - OVERALL
1/8" = 1'-0"

license

consultant logo

project name

**MI CHILD CARE
CENTER**

2407 106TH ST SW
EVERETT, WA 98204

key plan

submittals/revisions

50% SD SET	12.21.2023

drawing title

**FLOOR PLAN -
NATURE PRESCHOOL**

drawing information

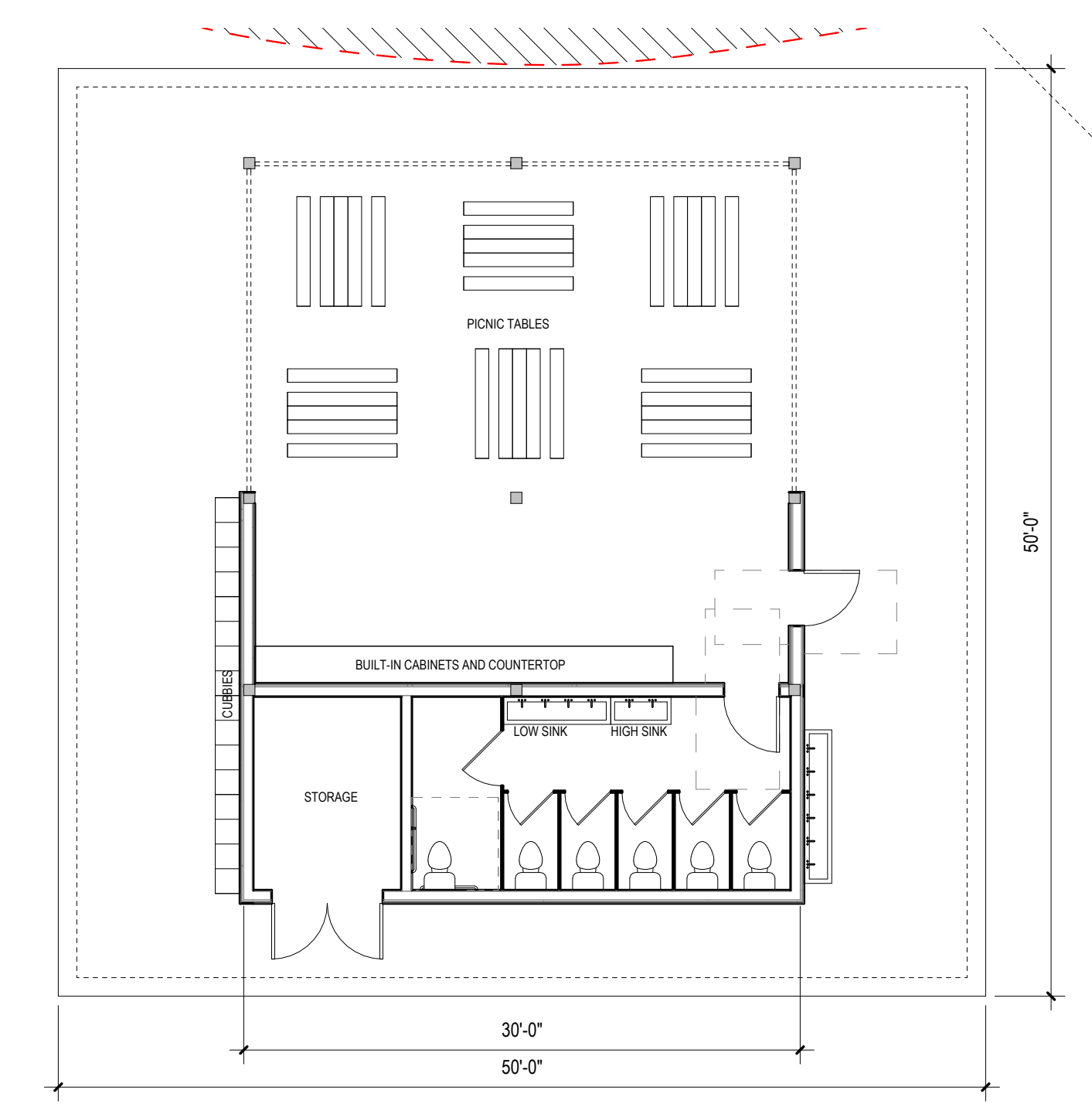
DATE	12.21.23
SCALE	1/8" = 1'-0"
DRAWN	Author
JOB #	23-084

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sheet number

A1.02



1
A1.02
LEVEL 1 - NATURE PRESCHOOL
1/8" = 1'-0"

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project name

**MI CHILD CARE
CENTER**

2407 106TH ST SW
EVERETT, WA 98204

key plan

submittals/revisions

50% SD SET	12.21.2023
PREAPP SUBMITTAL	02.09.2024

drawing title

EXISTING PLANS

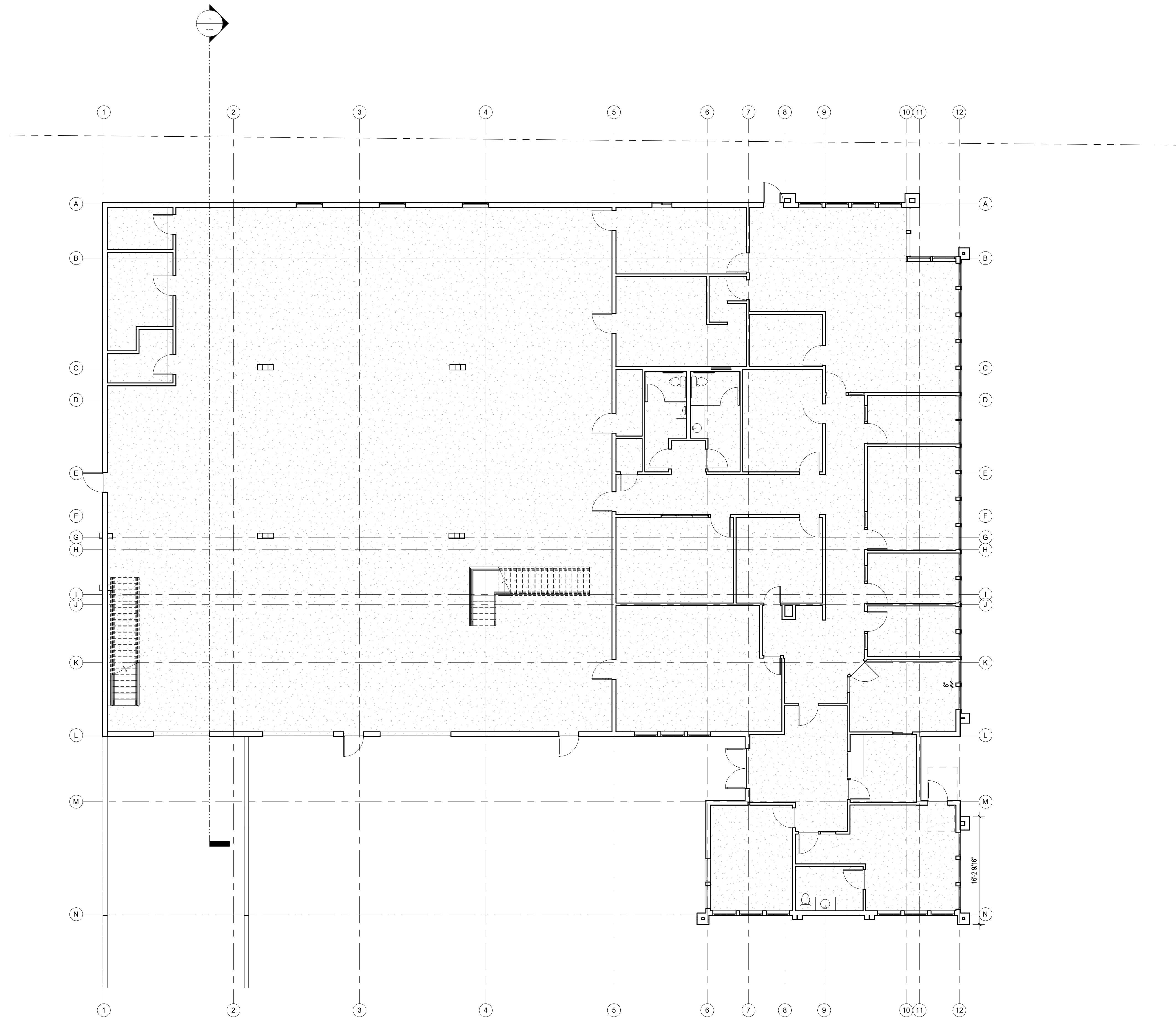
drawing information

DATE	02.09.24
SCALE	1/8" = 1'-0"
DRAWN	Author
JOB #	23-084

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sheet number

A1.06



EXISTING PLAN - LEVEL 1
1/8" = 1'-0"

A1.06

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**MI CHILD CARE
CENTER**

2407 106TH ST SW
EVERETT, WA 98204

key plan

submittals/revisions

50% SD SET 12.21.2023

drawing title

**BUILDING
ELEVATIONS**

drawing information

DATE 12.21.23

SCALE 1/8" = 1'-0"

DRAWN Author

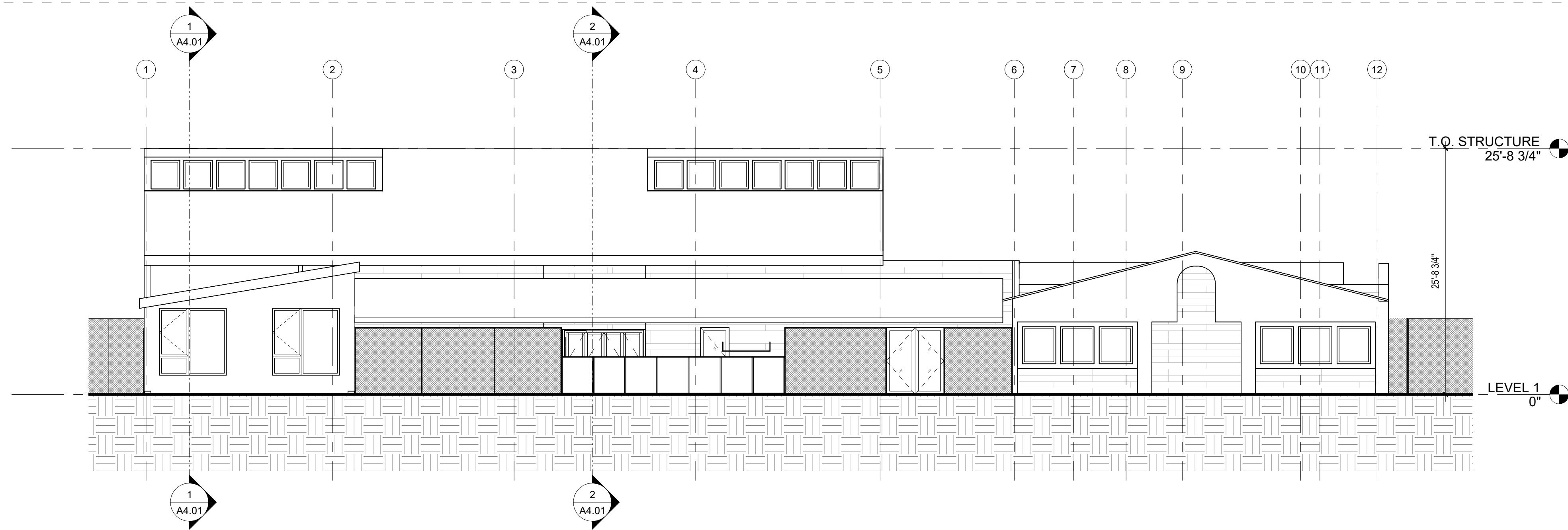
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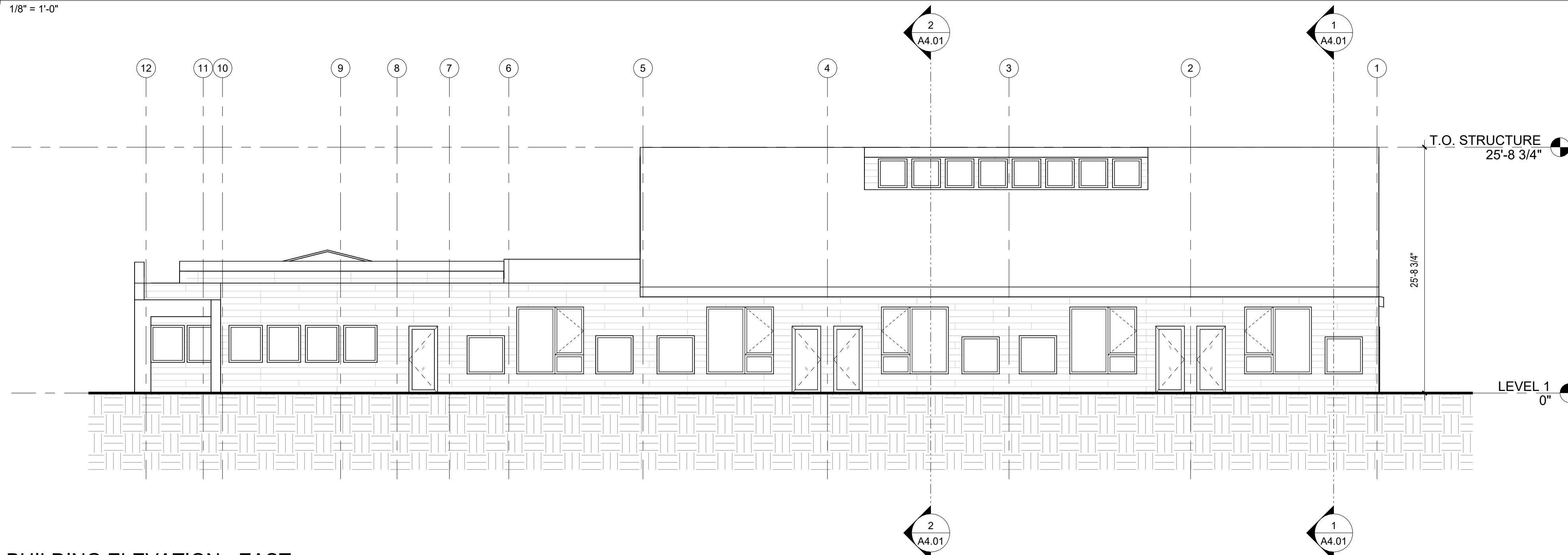
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sheet number

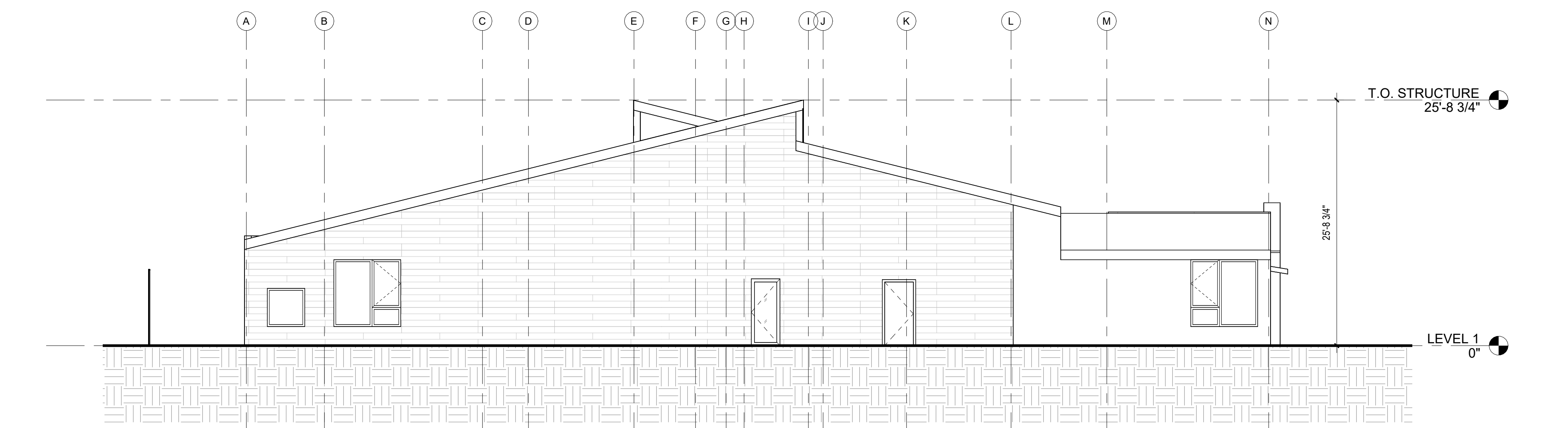
A3.01



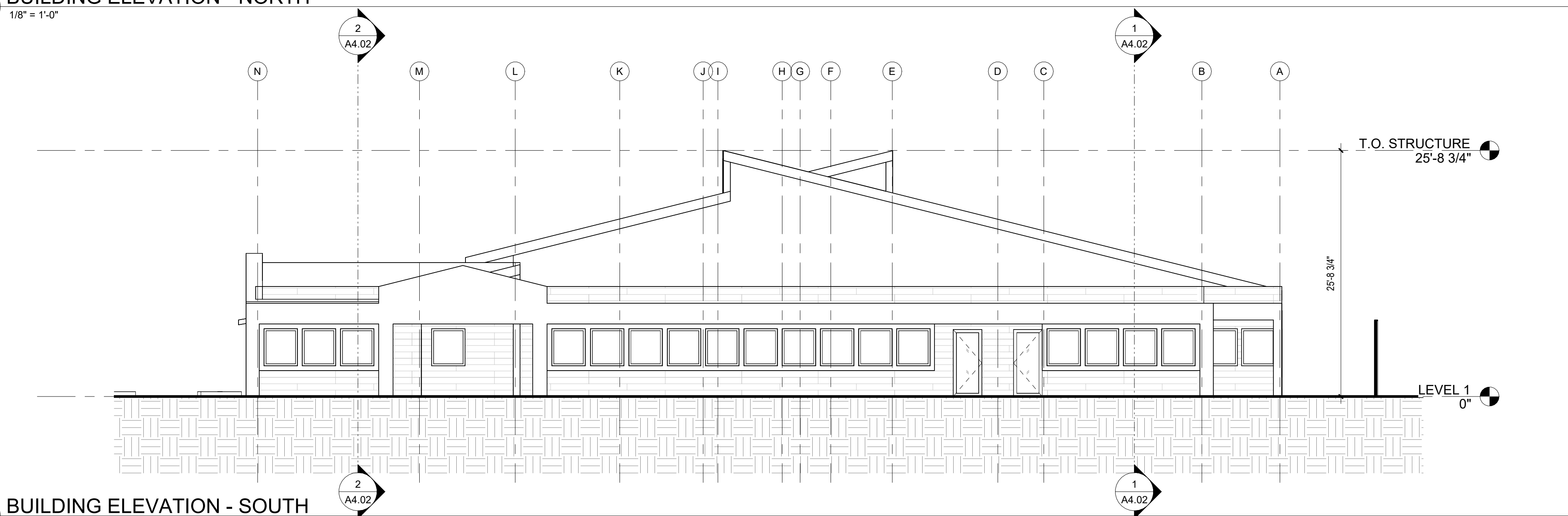
1
A3.01
BUILDING ELEVATION - WEST
1/8" = 1'-0"



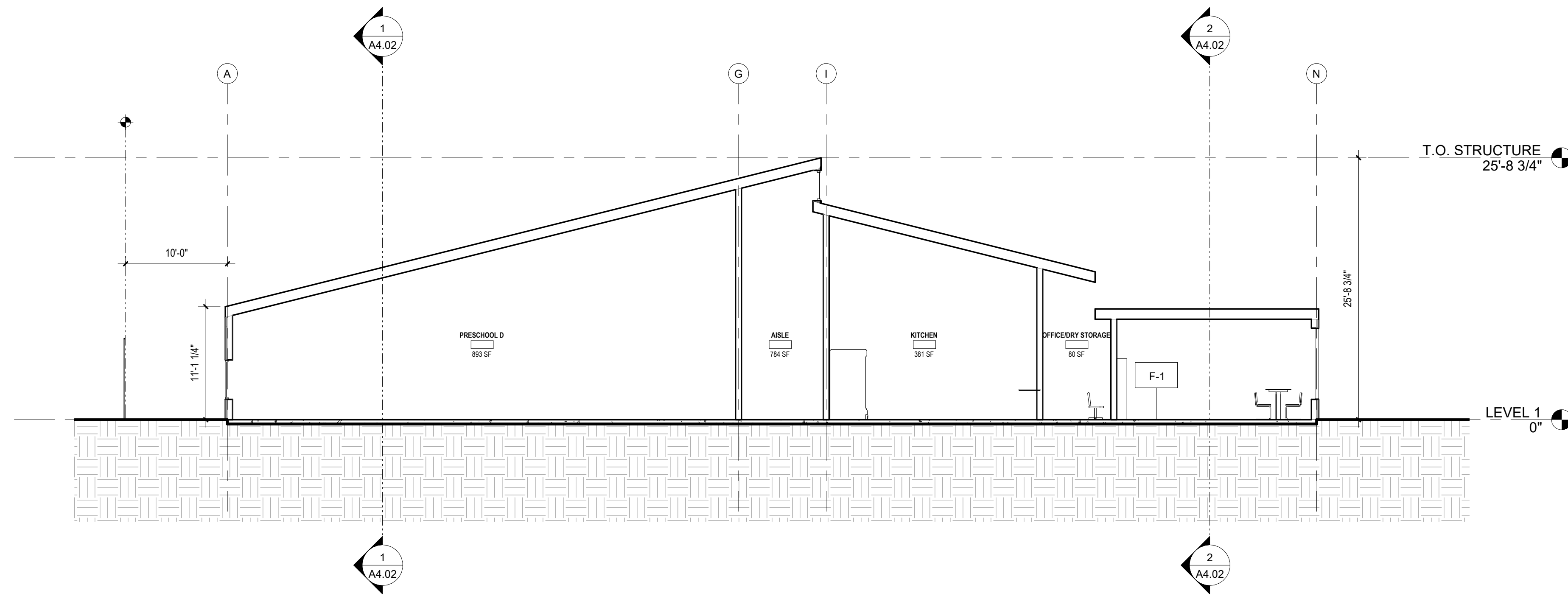
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A3.01
BUILDING ELEVATION - EAST
1/8" = 1'-0"



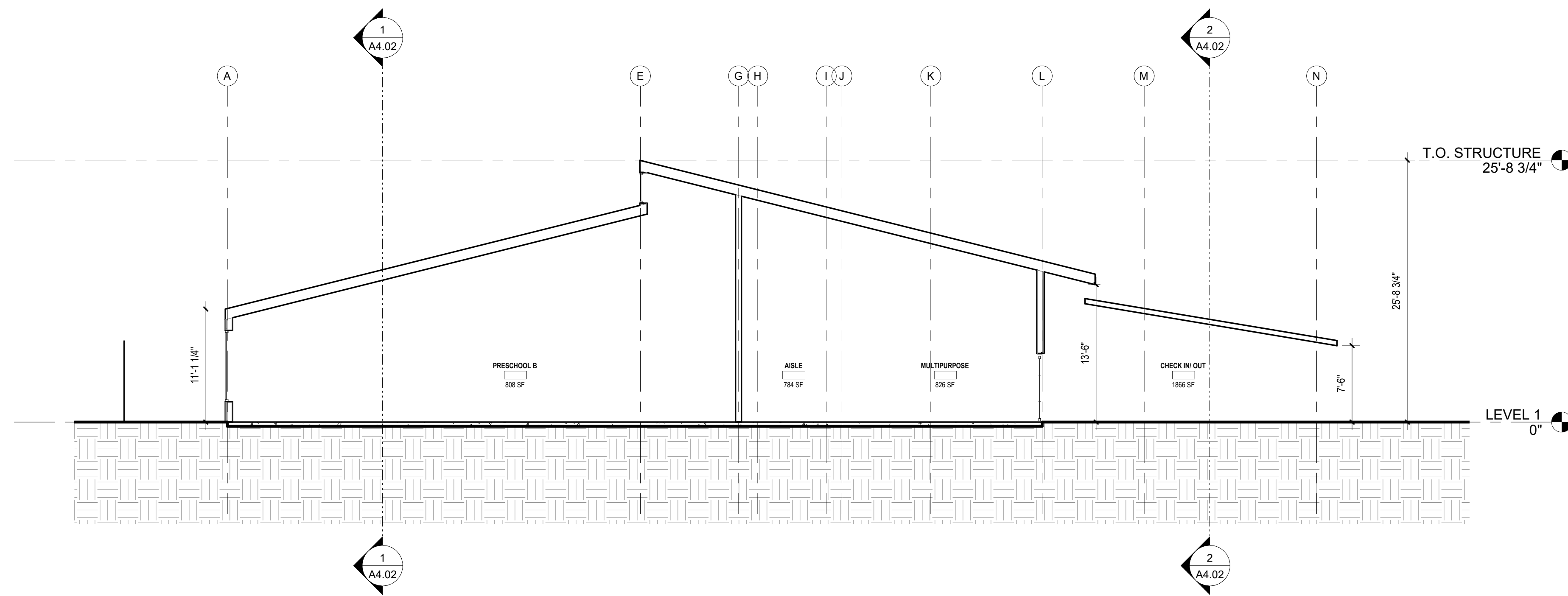
3
A3.01
BUILDING ELEVATION - NORTH
1/8" = 1'-0"



4
A3.01
BUILDING ELEVATION - SOUTH
1/8" = 1'-0"



1
A4.01 BUILDING SECTION A - LOOKING SOUTH
1/8" = 1'-0"



2
A4.01 BUILDING SECTION B - LOOKING SOUTH
1/8" = 1'-0"

license

consultant logo

project name

MI CHILD CARE
CENTER

2407 106TH ST SW
EVERETT, WA 98204

key plan

submittals/revisions

50% SD SET 12.21.2023

drawing title

BUILDING SECTIONS

drawing information

DATE 12.21.23

SCALE 1/8" = 1'-0"

DRAWN Author

JOB # 23-084

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sheet number

A4.01

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50% SD SET	12.21.2023

drawing title

BUILDING SECTIONS

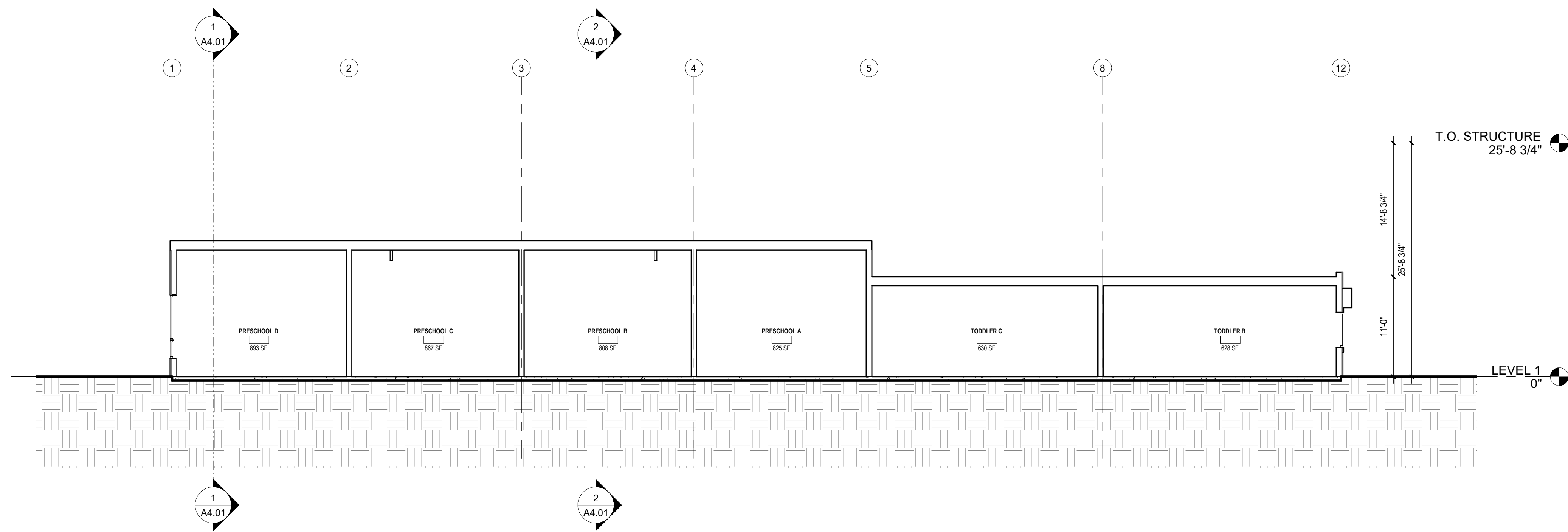
drawing information

DATE	12.21.23
SCALE	1/8" = 1'-0"
DRAWN	Author
JOB #	23-084

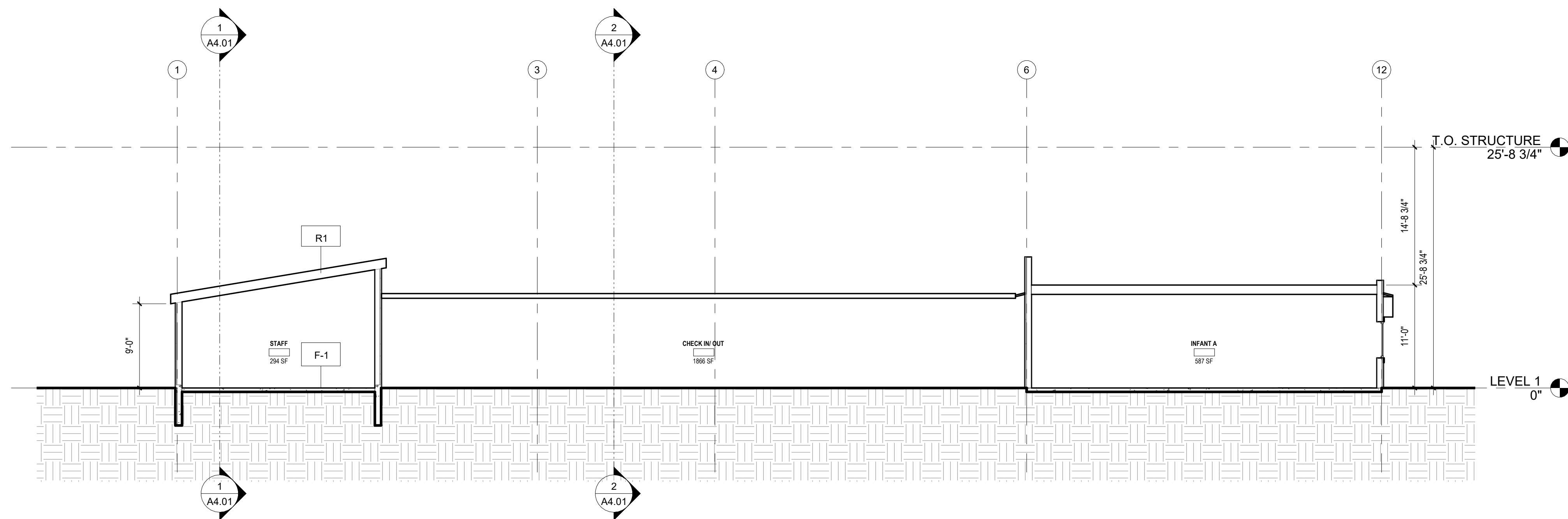
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sheet number

A4.02



1
A4.02
BUILDING SECTION D - LOOKING EAST
1/8" = 1'-0"



2
A4.02
BUILDING SECTION C - LOOKING EAST
1/8" = 1'-0"

WALL ASSEMBLIES

ASSEMBLY TYPE	DETAIL	DESCRIPTION	FIRE RATING	SOUND RATING
INTERIOR WALLS - WOOD FRAME				
A1 TYP. INTERIOR PARTITION		<ul style="list-style-type: none"> 5/8" TYPE X GWB 2X4 WOOD STUDS 5/8" TYPE X GWB 		NOT RATED
A2 INTERIOR PARTITION W/ PLUMBING		<ul style="list-style-type: none"> 5/8" TYPE X GWB 2X6 WOOD STUDS PER STRUCTURAL PLUMBING WHERE OCCURS PER PLUMBING PLANS FILL CAVITY AROUND PIPE W/ BATT INSULATION 5/8" TYPE X GWB 		NOT RATED

WALL ASSEMBLIES

ASSEMBLY TYPE	DETAIL	DESCRIPTION	FIRE RATING	SOUND RATING
EXTERIOR WALLS - WOOD FRAME				
E1 WOOD FRAMED EXTERIOR WALL W/ FIBER CEMENT PANEL		<ul style="list-style-type: none"> FIBER CEMENT SIDING PER ELEVATION 3/4" PT WOOD FURRING WRB 5/8" TYPE X GWB 3/4" PLYWOOD SHEATHING 2X6 WOOD STUDS @ 16 O.C. 5 1/2" R-21 BATT INSULATION 5/8" TYPE X GWB 		NOT RATED

FLOOR ASSEMBLIES

ASSEMBLY TYPE	DETAIL	DESCRIPTION	FIRE RATING	SOUND RATING
F1 SLAB ON GRADE / MAT SLAB		<ul style="list-style-type: none"> FINISH FLOOR PER I.D. PLANS CONCRETE SLAB ON GRADE PER STRUCTURAL VAPOR BARRIER PER B.E. FREE-DRAINING GRAVEL BASE PER GEOTECH REPORT 	NOT RATED	NOT RATED

FLOOR ASSEMBLIES

ASSEMBLY TYPE	DETAIL	DESCRIPTION	FIRE RATING	SOUND RATING
R1 TYP. FRAMED ROOF		<ul style="list-style-type: none"> ROOFING MEMBRANE 1/4" GYPSUM COVERBOARD RIGID INSULATION, SLOPED TO DRAIN PER PLANS, 4" MIN. THICKNESS, R-26 AVG. SELF-ADHERED VAPOR & AIR MEMBRANE ROOF SHEATHING PER STRUCTURAL WOOD I-JOISTS PER STRUCTURAL 10" R-30 BATT INSULATION IN CAVITY, PINNED TO UNDERSIDE OF PLYWOOD 1/2" RESILIENT CHANNEL 2 LAYERS 5/8" TYPE X GWB <p>SUSPENDED CEILING</p> <ul style="list-style-type: none"> GWB SUSPENDED CEILING SYSTEM PER RCP'S 5/8" TYPE X GWB OR ACT, HEIGHT PER RCP'S 	1 HR GA FC 5111	NOT RATED